



GRIFFITHS DUPLEX

980 HAND STREET, FERNIE BC



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- A2.1 CRAWLSPACE PLAN
- A2.1 MAIN FLOOR PLAN
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ISSUE FOR REVIEW

GENERAL NOTES

- PLEASE READ CAREFULLY BEFORE BEGINNING PROJECT
1. WHILE EVERY ATTEMPT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE DESIGNER CANNOT GUARANTEE AGAINST HUMAN ERROR.
 2. THE DESIGNER IS UNABLE TO ACCEPT ANY LIABILITY FOR THE ACCURACY OR OVERALL INTEGRITY OF THESE DRAWINGS.
 3. DRAWINGS ARE NOT TO BE SCALED.
 4. ALL DRAWINGS, DIMENSIONS, DETAILS, AND NOTES TO BE REVIEWED AND CONFIRMED BY THE GENERAL CONTRACTOR BEFORE UNDERTAKING ANY WORK ON THE PROJECT. ANY DISCREPANCIES, ERRORS OR OMISSIONS TO BE REPORTED TO THE DESIGNER IMMEDIATELY BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
 5. DESIGNER IS NOT RESPONSIBLE FOR ERRORS AND OMISSIONS IN STRUCTURAL DESIGN. ALL STRUCTURAL SYSTEMS TO BE ENGINEERED BY OTHERS. STRUCTURAL LOCATIONS AND SIZES OF SONOTUBES, COLUMNS, FOOTINGS, AND BEAMS ARE A GUIDE ONLY; THEY MUST BE VERIFIED BY TRUSS / FLOOR MANUFACTURER BEFORE CONSTRUCTION BEGINS.
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 11. ALL WOOD FRAMING TO BE SPF #2 OR BETTER. ANY LUMBER IN CONTACT WITH CONCRETE MUST BE "PRESERVED WOOD FOUNDATION" (PW) MATERIAL.
 12. ALL LOADING & DRIFTING ARE TO BE DESIGNED BY OTHERS.
 13. PLUMBING, ELECTRICAL & HEATING BY CONTRACTOR TO CODE, LATEST EDITION.
 14. ROOF VENTS INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE 9.19.1.
 15. IN-FLOOR HEATED CONCRETE SYSTEM BY OTHERS. PROVISIONS TO BE MADE FOR SOIL GAS CONTROL AS PER BC BUILDING CODE 9.13.4.
 17. STAIRS AND HANDRAILS INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE 9.8.
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DL 5455, KOOTENAY DISTRICT
PID: 009-503-340

DRAWING

TITLE PAGE

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1	ISSUE FOR REVIEW	11 MAR	KD
No	REVISION	DATE	BY

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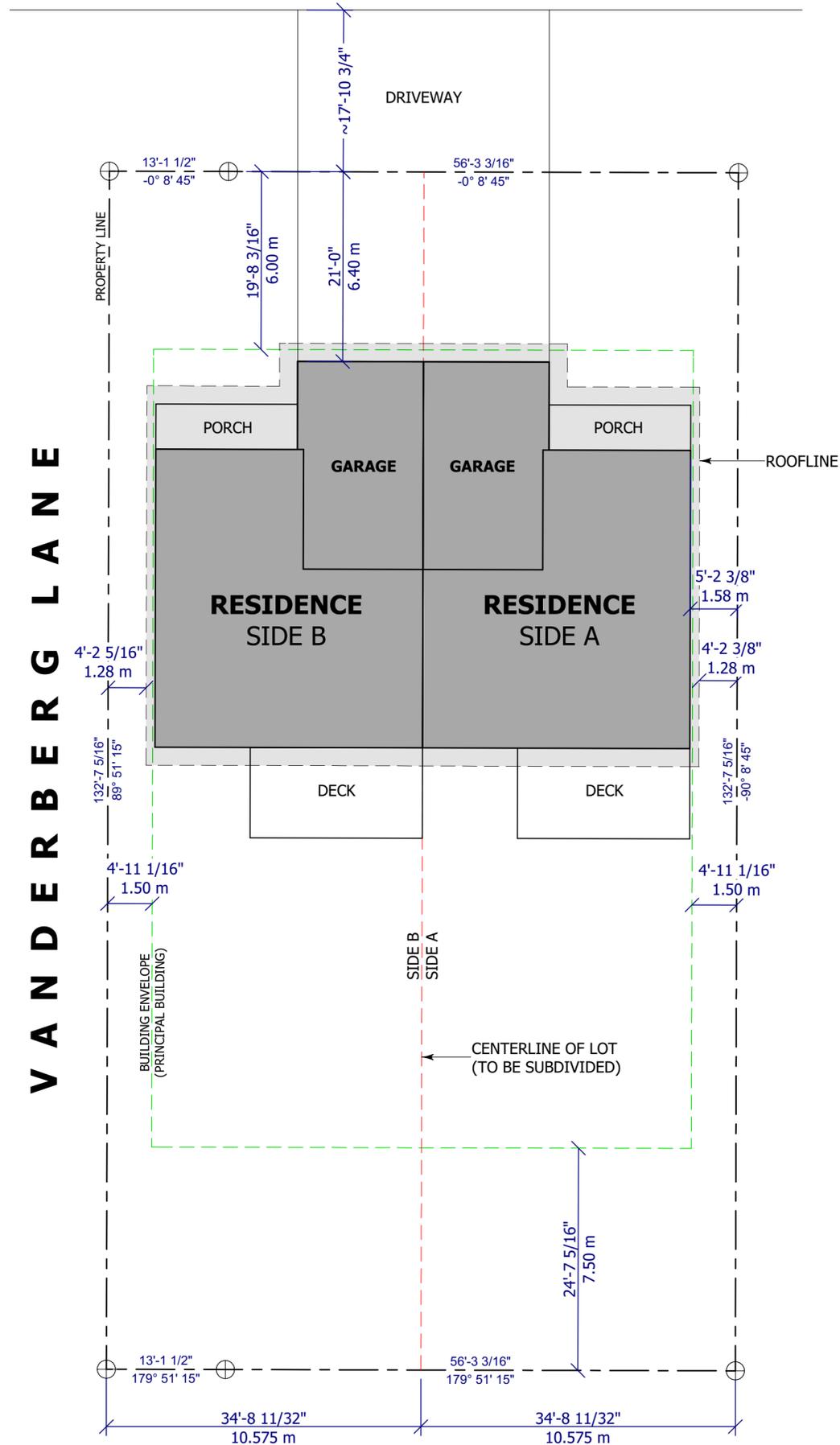
11-MAR-24

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SCALE

NOT TO SCALE

S T R E E T



LOT 1	
ZONING BYLAW	R-WF
LOT SIZE	854.9 sq m 9,201.9 sq ft
PERMITTED LOT COVERAGE	
ALL STRUCTURES	30 % 2,760.6 sq ft
INCLUDING DECKS	35 % 3,220.7 sq ft
PROPOSED LOT COVERAGE	
ALL STRUCTURES	24.1 % 2,217.6 sq ft
INCLUDING DECKS	29.9 % 2,754 sq ft
1,108.8 sq ft	HOUSE & GARAGE A
1,108.8 sq ft	HOUSE & GARAGE B
2,217.6 sq ft	SUB TOTAL
268.2 sq ft	DECK & PORCH A
268.2 sq ft	DECK & PORCH B
2,754.0 sq ft	TOTAL
FLOOD CONSTRUCTION LEVEL	996.8 m
MAX. PRINCIPAL BUILDING HEIGHT	9.0 m 29'-6"
MAX. ACCESSORY BUILDING HEIGHT	5.0 m 16'-4 7/8"
MAX. ACCESSORY BUILDING HEIGHT WITH SECONDARY DWELLING UNIT	7.5 m 24'-7 1/4"



1

SITE PLAN

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DL 5455, KOOTENAY DISTRICT
PID: 009-503-340

DRAWING

SITE PLAN

7					
6					
5					
4					
3					
2					
1	ISSUE FOR REVIEW	11 MAR	KD		
No	REVISION	DATE	BY		

DATE

11-MAR-24

SCALE

3/32" = 1'-0"

A1.1

ISSUE FOR REVIEW

FLOODPLAIN
CONSTRUCTION
LEVEL: 996.8 m

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**GRIFFITHS
DUPLX**

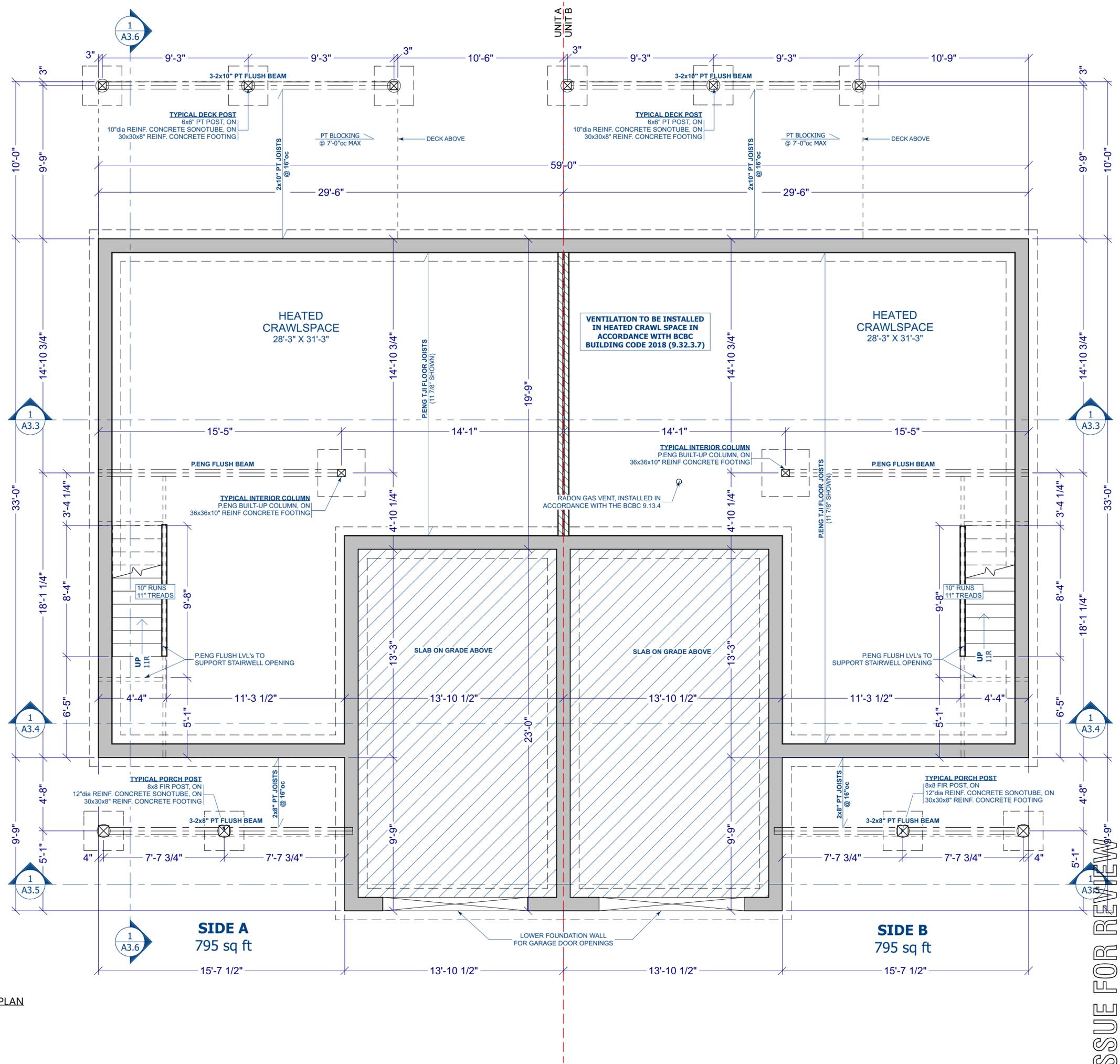
PROJECT ADDRESS
980 HAND STREET
FERNIE, BC

LEGAL ADDRESS
LOT 1/A, PLAN NEP15240,
DL 5455, KOOTENAY DISTRICT
PID: 009-503-340

CRAWLSPACE PLAN

7			
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4			
3			
2			
1	ISSUE FOR REVIEW	11 MAR	KD
No	REVISION	DATE	BY

DATE: 11-MAR-24
SCALE: 1/4" = 1'-0"
A2.1



**CRAWLSPACE
AREA
1590 sq ft**

MECHANICAL & ELECTRICAL NOTES

1. VARIABLE SPEED FURNACE (1 PER SIDE)
2. POWER VENT HOT WATER TANK (1 PER SIDE)
3. AIR CONDITIONER (1 PER SIDE)
4. HRV (1 PER SIDE)
5. 200 AMP ELECTRICAL SERVICE (1 PER SIDE)
6. CONDUIT FOR FUTURE EV CHARGERS (GARAGES)
7. ELECTRIC FIREPLACE (LIVING ROOMS)
8. GAS BBQ OUTLET (REAR DECK)
9. IRRIGATION ROUGH-IN
10. WATERLINE TO FRIDGE
11. TV OUTLET (LIVING, LOFTS, MASTER BEDROOMS)
12. CAT 6 (OFFICES)

STRUCTURAL NOTE

SEE PENG I ENGINEERED DRAWINGS FOR ALL STRUCTURAL ELEMENTS OF DESIGN, INCLUDING FOUNDATION WALLS, BEAMS, COLUMNS, JOISTS, TRUSSES AND INTELS. PAD FOOTING SIZES SUPPORTING ROOF LOAD TO BE CONFIRMED BY OTHER.



CRAWLSPACE PLAN

ISSUE FOR REVIEW

FLOODPLAIN CONSTRUCTION LEVEL: 996.8 m

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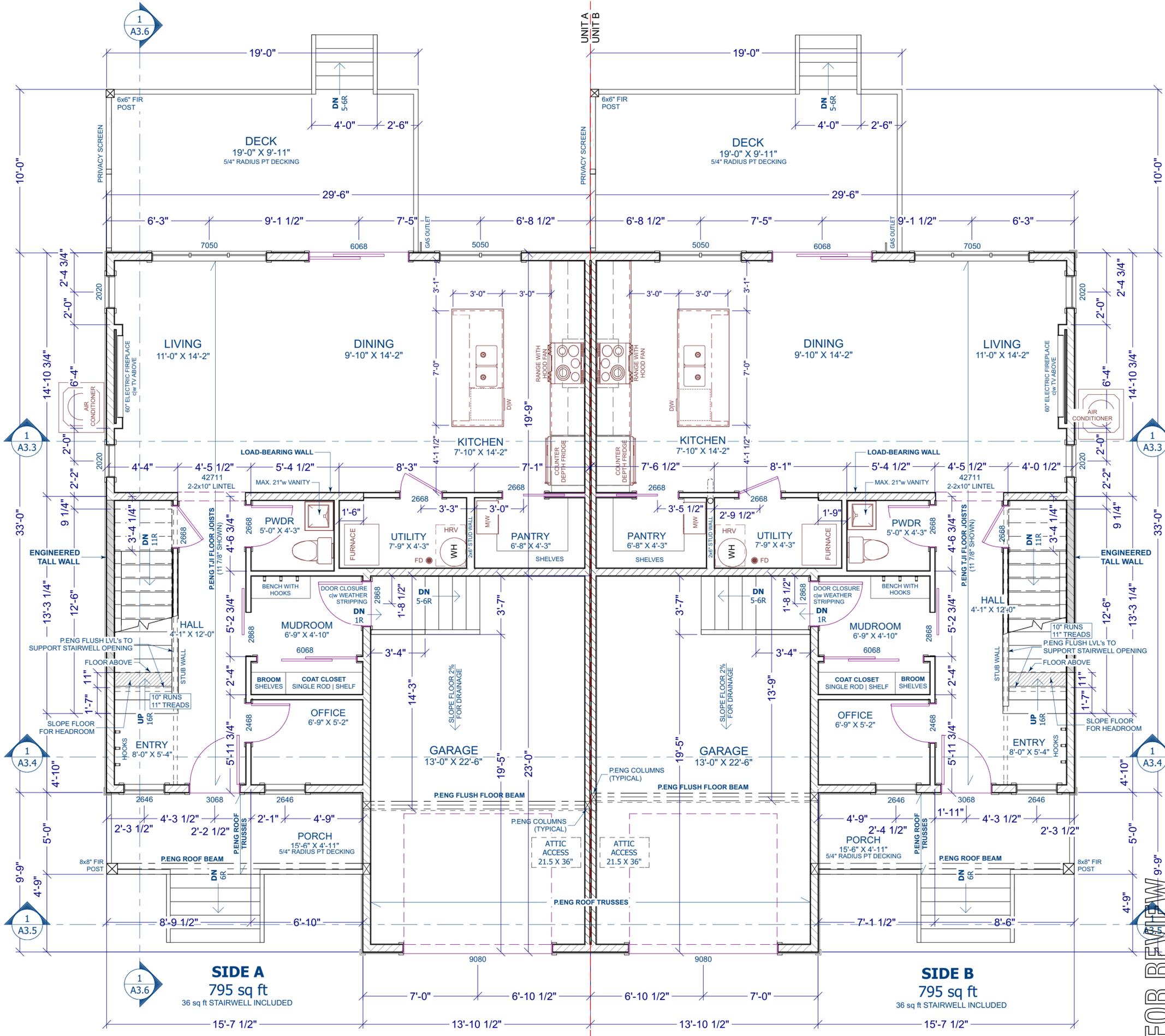
GRIFFITHS DUPLEX

PROJECT ADDRESS: 980 HAND STREET FERNIE, BC
LEGAL ADDRESS: LOT 1/A, PLAN NEP15240, DL 5455, KOOTENAY DISTRICT PID: 009-503-340

MAIN FLOOR PLAN

No.	REVISION	DATE	BY
1	ISSUE FOR REVIEW	11 MAR	KD

DATE: 11-MAR-24
SCALE: 1/4" = 1'-0"



LIVING AREA
1590 sq ft
29 sq ft STAIRWELLS INCLUDED

- MECHANICAL & ELECTRICAL NOTES**
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- WINDOW NOTES**
1. INSTALL WINDOWS TO MATCH T/O EXTERIOR MAN DOORS. SECOND FLOOR WINDOWS INSTALLED ~83" aff
 2. WINDOW SIZES ARE APPROXIMATE. REFER TO WINDOW MANUFACTURER SUPPLIED R.O. SIZES
 3. ALL WINDOW & DOOR LINTELS TO BE SIZED BY P.ENG

N 1 MAIN FLOOR PLAN

ISSUE FOR REVIEW

SIDE B
795 sq ft
36 sq ft STAIRWELL INCLUDED

SIDE A
795 sq ft
36 sq ft STAIRWELL INCLUDED

FLOODPLAIN CONSTRUCTION LEVEL: 996.8 m

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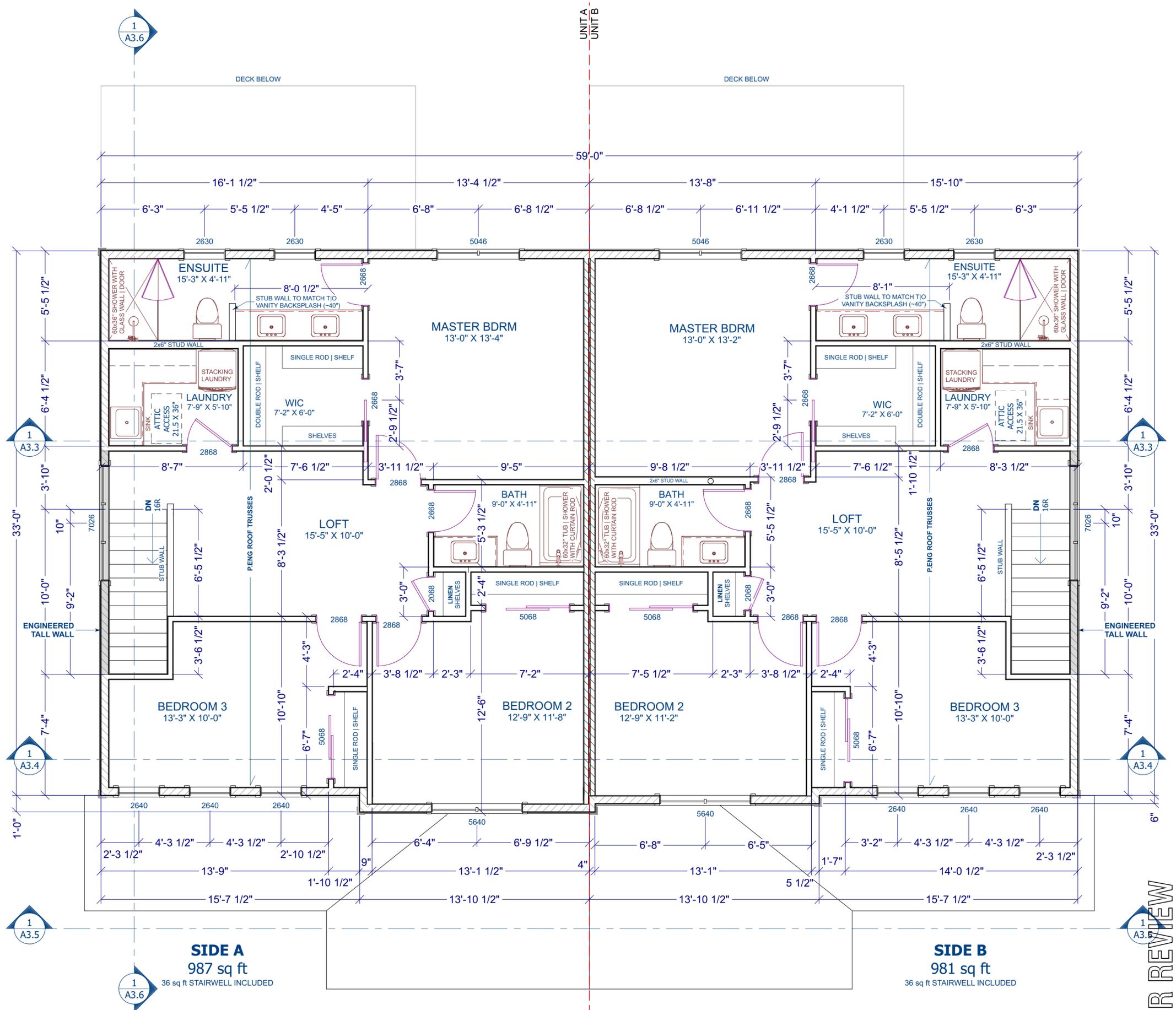
PROJECT ADDRESS
980 HAND STREET
FERNIE, BC

LEGAL ADDRESS
LOT 1/A, PLAN NEP15240,
DL 5455, KOOTENAY DISTRICT
PID: 009-503-340

SECOND FLOOR PLAN

7			
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1	ISSUE FOR REVIEW	11 MAR	KD
No.	REVISION	DATE	BY

DATE: 11-MAR-24
SCALE: 1/4" = 1'-0"
A2.3



LIVING AREA
1968 sq ft
36 sq ft STAIRWELLS INCLUDED

- MECHANICAL & ELECTRICAL NOTES**
1. VARIABLE SPEED FURNACE (1 PER SIDE)
 2. POWER VENT HOT WATER TANK (1 PER SIDE)
 3. AIR CONDITIONER (1 PER SIDE)
 4. HRV (1 PER SIDE)
 5. 200 AMP ELECTRICAL SERVICE (1 PER SIDE)
 6. CONDUIT FOR FUTURE EV CHARGERS (GARAGES)
 7. ELECTRIC FIREPLACE (LIVING ROOMS)
 8. GAS BBQ OUTLET (REAR DECK)
 9. IRRIGATION ROUGH-IN
 10. WATERLINE TO FRIDGE
 11. TV OUTLET (LIVING, LOFTS, MASTER BEDROOMS)
 12. CAT 6 (OFFICES)

STRUCTURAL NOTE
SEE P.ENG | ENGINEERED DRAWINGS FOR ALL STRUCTURAL ELEMENTS OF DESIGN, INCLUDING FOUNDATION WALLS, BEAMS, COLUMNS, JOISTS, TRUSSES AND LINTELS. PAD FOOTING SIZES SUPPORTING ROOF LOAD TO BE CONFIRMED BY OTHER.

- WINDOW NOTES**
1. INSTALL WINDOWS TO MATCH T/O EXTERIOR MAN DOORS. SECOND FLOOR WINDOWS INSTALLED ~83" aff
 2. WINDOW SIZES ARE APPROXIMATE. REFER TO WINDOW MANUFACTURER SUPPLIED R.O. SIZES
 3. ALL WINDOW & DOOR LINTELS TO BE SIZED BY P.ENG

1 SECOND FLOOR PLAN

ISSUE FOR REVIEW

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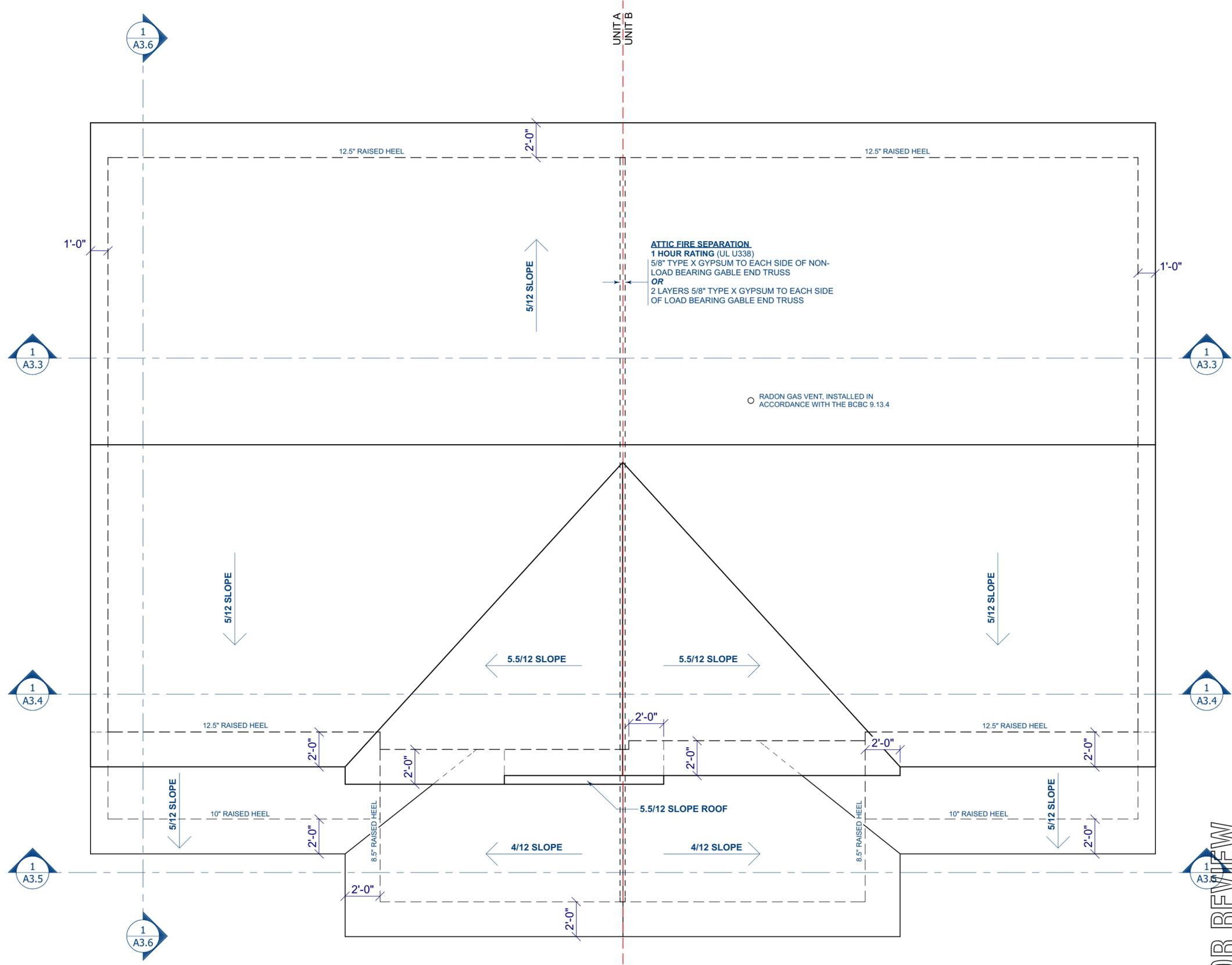
DRAWING
ROOF PLAN

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SCALE
1/4" = 1'-0"

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ISSUE FOR REVIEW



ATTIC FIRE SEPARATION
1 HOUR RATING (UL U338)
5/8" TYPE X GYPSUM TO EACH SIDE OF NON-LOAD BEARING GABLE END TRUSS
OR
2 LAYERS 5/8" TYPE X GYPSUM TO EACH SIDE OF LOAD BEARING GABLE END TRUSS

○ RADON GAS VENT, INSTALLED IN ACCORDANCE WITH THE BCBC 9.13.4

ROOF NOTES

1. STRUCTURAL ENGINEER TO PROVIDE DESIGN, LAYOUT, AND POSITION OF ALL ROOF TRUSSES
2. VENTILATION TO BE PROVIDED TO ALL ROOF SPACES AS PER THE BC BUILDING CODE LATEST EDITION
3. ALL WORK TO ROOFS TO BE IN ACCORDANCE WITH THE ROOFING CONTRACTORS ASSOCIATION OF BRITISH COLUMBIA ROOFING PRACTICES MANUAL
4. SBS ROOFING TO SLOPE MINIMUM 2% FOR DRAINAGE TO EAVESTROUGH AND/OR DRAIN

ROOF LEGEND

- ROOF LINE
- - - ROOF LINE BELOW
- - - EXTERIOR WALL | DECK BELOW
- /// VAULTED CEILING
- ▨ UNVENTED ALUMINUM SOFFIT (NOT REQUIRED)

BUILDING HEIGHT CALCULATION

PERMITTED BUILDING HEIGHT
CITY OF FERNIE 29'-6 5/16" | 9.0 m
DESIGN GUIDELINES N/A

ACTUAL BUILDING HEIGHT
29'-5 3/4" | 8.99 m
MEASURED FINISHED GRADE TO PEAK

N 1 **ROOF PLAN**

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DRAWING
FRONT ELEVATION

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DATE
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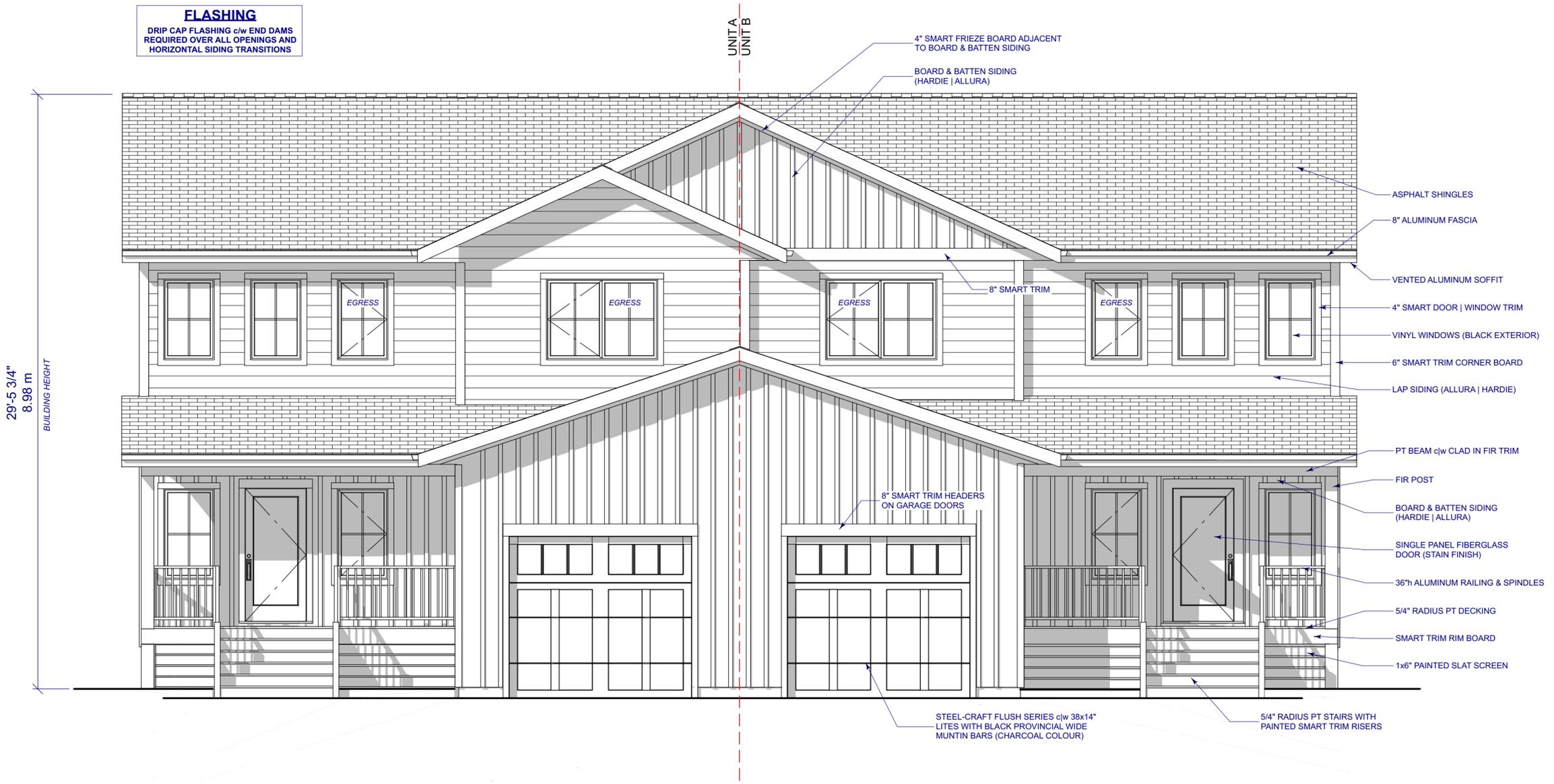
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1/4" = 1'-0"

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ISSUE FOR REVIEW

FLASHING
DRIP CAP FLASHING c/w END DAMS
REQUIRED OVER ALL OPENINGS AND
HORIZONTAL SIDING TRANSITIONS

UNIT A
UNIT B

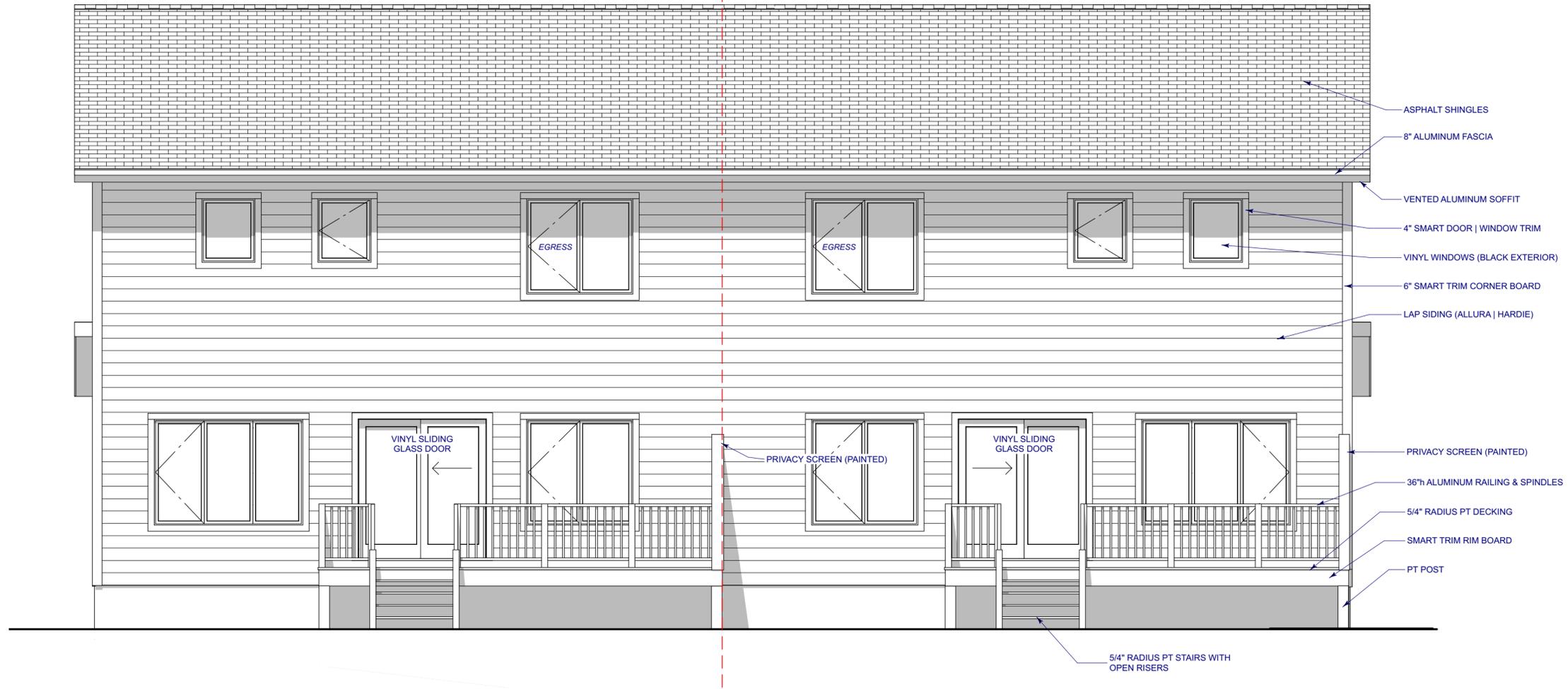


29'-5 3/4"
8.98 m
BUILDING HEIGHT

1 FRONT ELEVATION

FLASHING
DRIP CAP FLASHING c/w END DAMS
REQUIRED OVER ALL OPENINGS AND
HORIZONTAL SIDING TRANSITIONS

UNIT B
UNIT A



2 REAR ELEVATION

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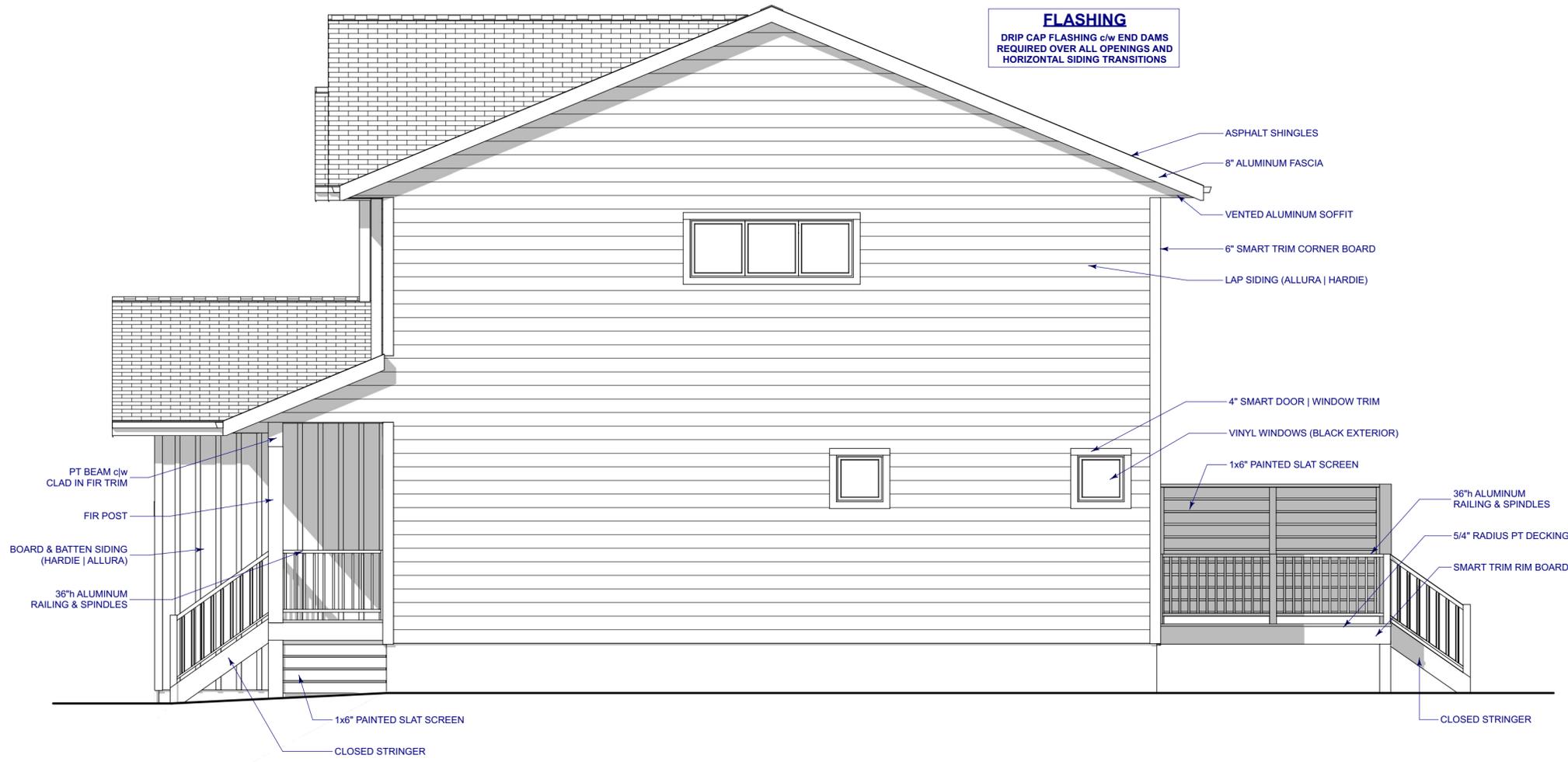
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SCALE
1/4" = 1'-0"

ISSUE FOR REVIEW

FLASHING
DRIP CAP FLASHING c/w END DAMS
REQUIRED OVER ALL OPENINGS AND
HORIZONTAL SIDING TRANSITIONS



1 RIGHT-SIDE ELEVATION

GLAZED OPENING CALCULATION

LIMITING DISTANCE	1.58 m 5'-2 3/16"
WALL AREA	65.9 m ² 709.5 sq ft
ALLOWABLE GLAZED AREA	8 % 56.8 sq ft
ACTUAL GLAZED AREA	
LOFT	17.5 sq ft
LIVING	8.0 sq ft
TOTAL	25.5 sq ft

NOTE: ROOF OVERHANGS ARE NOT WITHIN 1.2m (3'-11 1/4") OF PROPERTY LINE, SO VENTED ALUMINUM SOFFIT IS PERMITTED



2 LEFT-SIDE ELEVATION

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1/4" = 1'-0"

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ISSUE FOR REVIEW

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AIR BARRIER NOTE
AIR BARRIER TO BE STRUCTURALLY SUPPORTED AT SEAMS AND ALL PENETRATIONS, INCLUDING ELECTRICAL BOXES AND WIRE WAYS, TO BE CAULKED.

ROOF VENTILATION TO BE INSTALLED IN ACCORDANCE WITH THE BC BUILDING CODE 2024 (9.19.1)

ALL INSULATION VALUES TO BE CONFIRMED BY ENERGY ADVISOR

EXTERIOR WALL
EXTERIOR BUILDING TYPAR BUILDING WRAP
7/16" OSB
2x6" STUDS @ 16"oc
R-24 BATT INSULATION
6mm CJSB POLY
1/2" GYPSUM

2lbs SPRAY FOAM INSULATION IN JOIST ENDS. ROXUL INSULATION TO PROTECT WHERE CEILING UNFINISHED

TOP PLATE AS PER ENGINEERED FOUNDATION DRAWINGS
SLOPE GRADE MIN. 2% FOR DRAINAGE

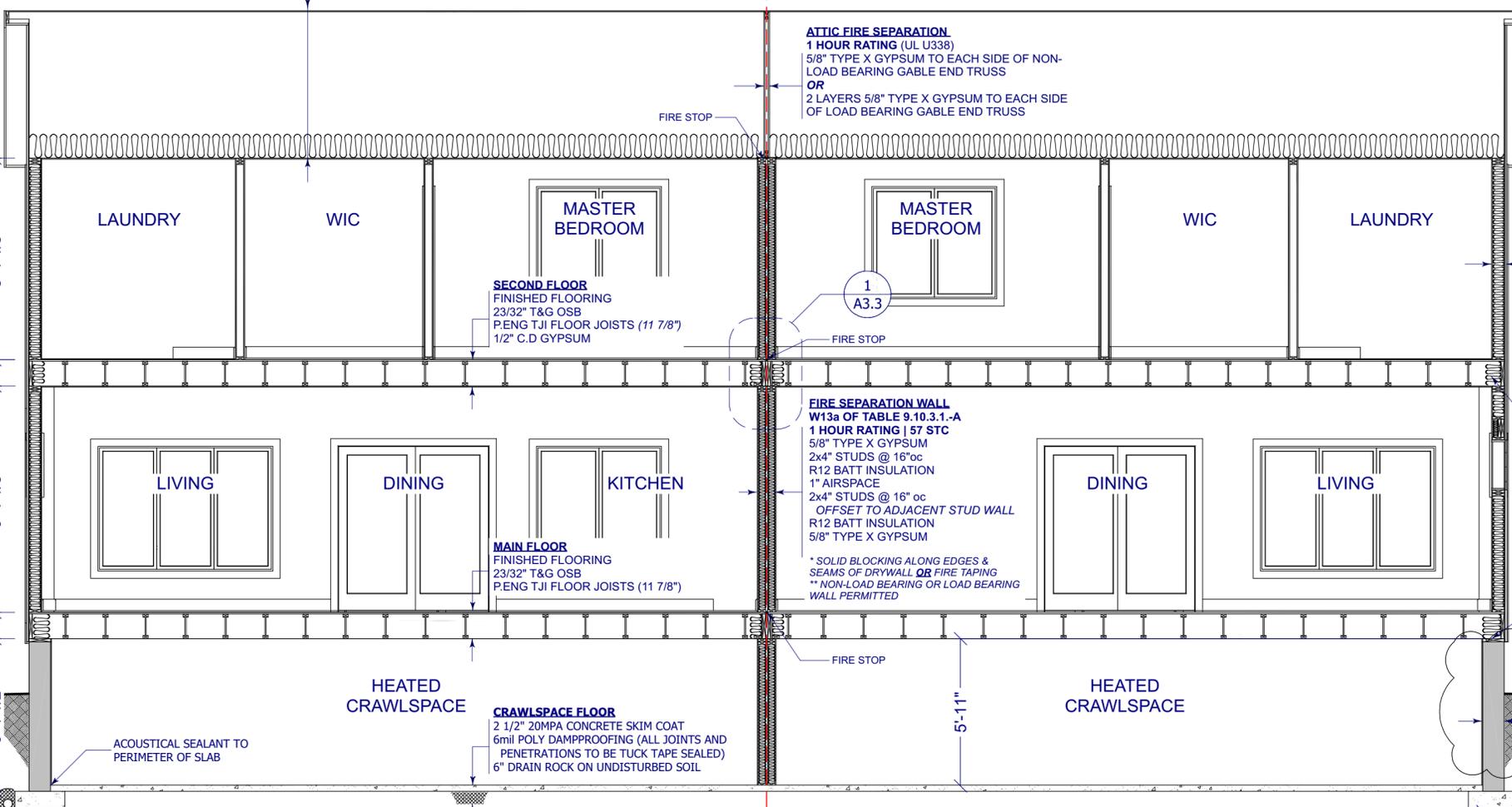
SUPERIOR FOUNDATION WALL
ASPHALT EMULSION WITH MASTIC DAMPPROOFING INSTALLED AS PER THE BCBC 9.13
ENGINEERED SUPERIOR WALL XI PLUS FOUNDATION WALL
* VAPOUR BARRIER NOT REQUIRED AS PER THE SUPERIOR WALL SPECS (ASTM E96)
AIR BARRIER TO BE CONFIRMED

BUILDING PAPER
DRAINAGE ROCK
4" dia PERFORATED PIPING
8x24" REINF. CONCRETE STRIP FOOTING

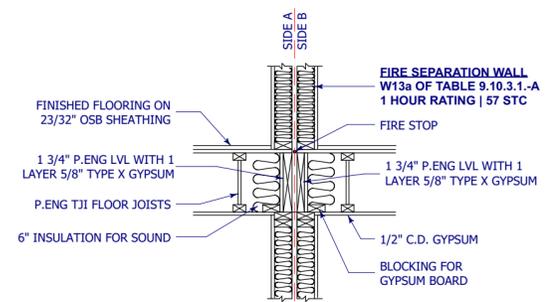
ROOF
ASPHALT SHINGLES
ROOF UNDERLAY AS PER MANUF'S SPECS
15/32" OSB
P.ENG ROOF TRUSSES
R-52 INSULATION
6mm CGSB POLY
5/8" TYPE X GYPSUM

ATTIC FIRE SEPARATION
1 HOUR RATING (UL U338)
5/8" TYPE X GYPSUM TO EACH SIDE OF NON-LOAD BEARING GABLE END TRUSS
OR
2 LAYERS 5/8" TYPE X GYPSUM TO EACH SIDE OF LOAD BEARING GABLE END TRUSS

FIRE SEPARATION WALL
W13a OF TABLE 9.10.3.1.-A
1 HOUR RATING | 57 STC
5/8" TYPE X GYPSUM
2x4" STUDS @ 16"oc
R12 BATT INSULATION
1" AIRSPACE
2x4" STUDS @ 16" oc
OFFSET TO ADJACENT STUD WALL
R12 BATT INSULATION
5/8" TYPE X GYPSUM
* SOLID BLOCKING ALONG EDGES & SEAMS OF DRYWALL OR FIRE TAPING
** NON-LOAD BEARING OR LOAD BEARING WALL PERMITTED



1 BUILDING SECTION I
3/16" = 1'-0"



2 FLOOR DETAIL CONTINUITY OF FIRE SEPARATION
1/2" = 1'-0"

ISSUE FOR REVIEW



GRIFFITHS DUPLEX

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980 HAND STREET
FERNIE, BC

LEGAL ADDRESS
LOT 1/A, PLAN NEP15240,
DL 5455, KOOTENAY DISTRICT
PID: 009-503-340

DRAWING
BUILDING SECTION I & FLOOR DETAIL

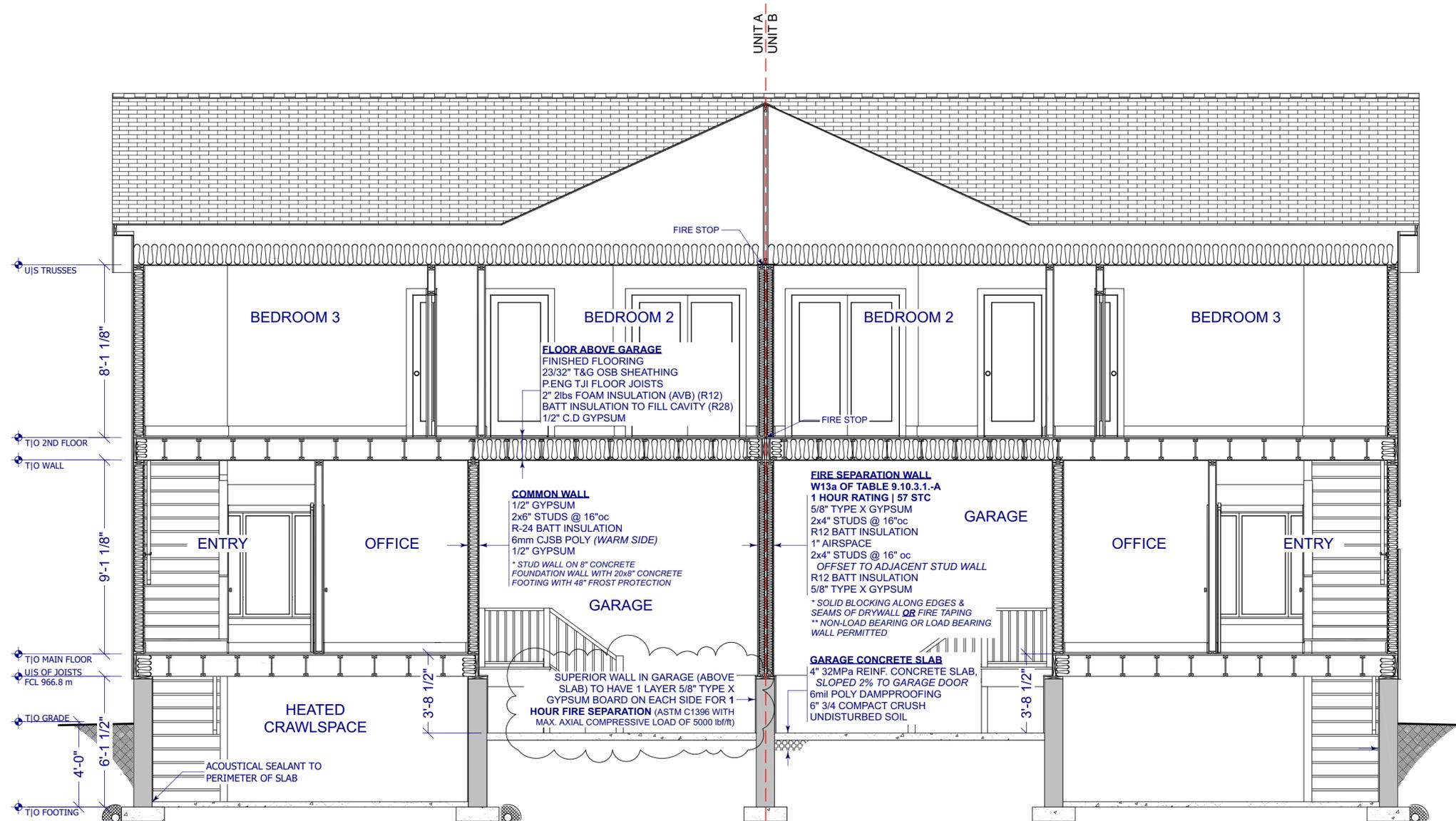
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DRAWING
BUILDING SECTION II

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DATE: 11-MAR-24
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SCALE: 1/4" = 1'-0" **A3.4**

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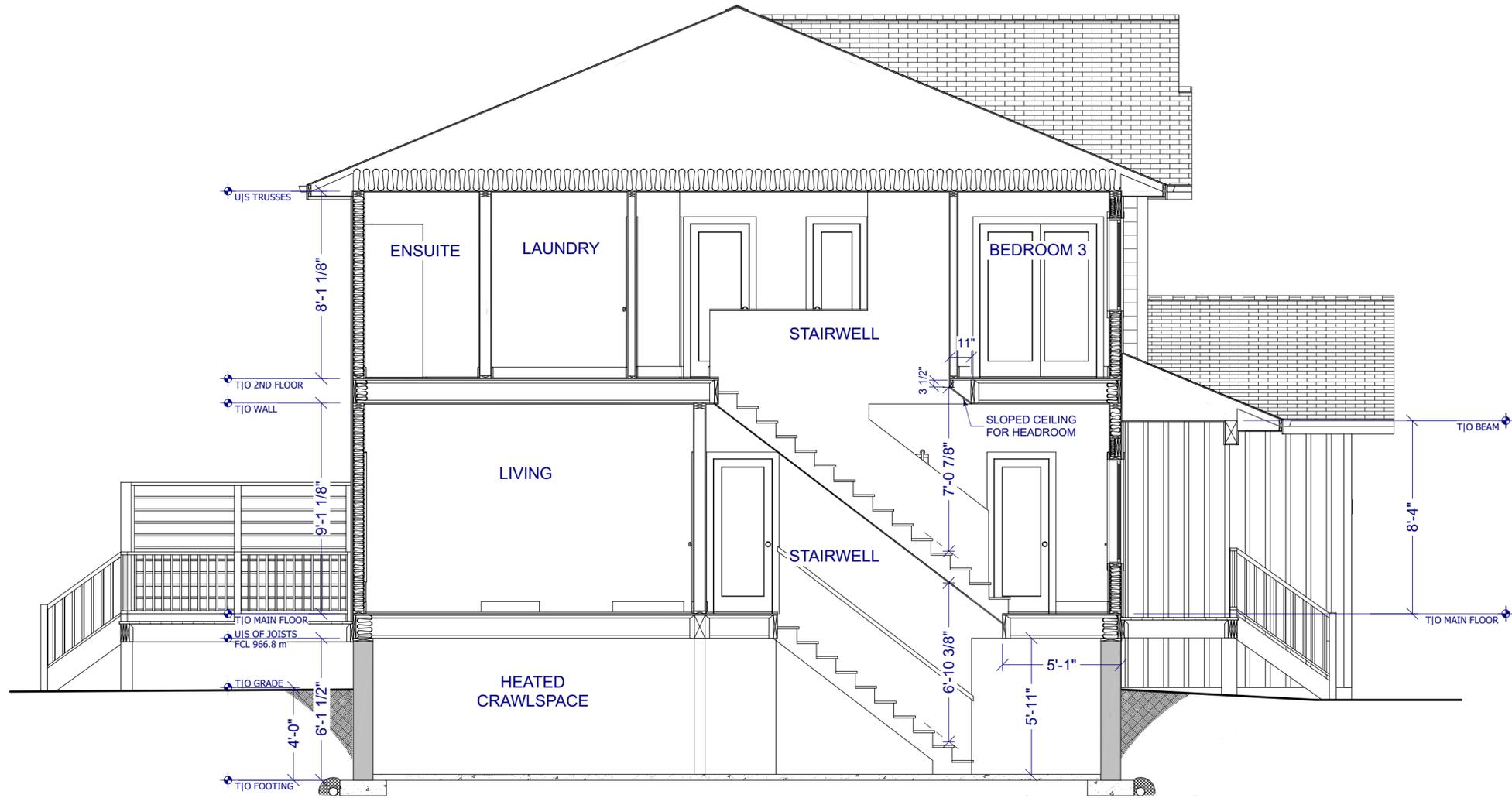
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 15. IN-FLOOR HEATED CONCRETE SYSTEM BY OTHERS. PROVISIONS TO BE MADE FOR SOIL GAS CONTROL AS PER BC BUILDING CODE 9.13.4.
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1 BUILDING SECTION IV

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DL 5455, KOOTENAY DISTRICT
PID: 009-503-340

DRAWING

BUILDING SECTION IV

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No	REVISION	DATE	BY
1	ISSUE FOR REVIEW	11 MAR	KD

DATE: 11-MAR-24

SCALE: 1/4" = 1'-0"

A3.6

ISSUE FOR REVIEW

ELECTRICAL LEGEND	
	CEILING FAN
	CEILING FIXTURE / PENDANT
	RECESSED POT LIGHT
	VANITY LIGHT
	EXTERIOR COACH LIGHT / INTERIOR WALL SCONCE
	TUBE FIXTURE
	UNDER CABINET LIGHTING
	110v OUTLET
	110v WEATHERPROOF OUTLET
	110v GFCI OUTLET
	110v SPLIT WIRED OUTLET
	220v OUTLET
	APPLIANCE SPECIFIC OUTLETS
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	3 WAY / 4 WAY SWITCH
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	TV JACK
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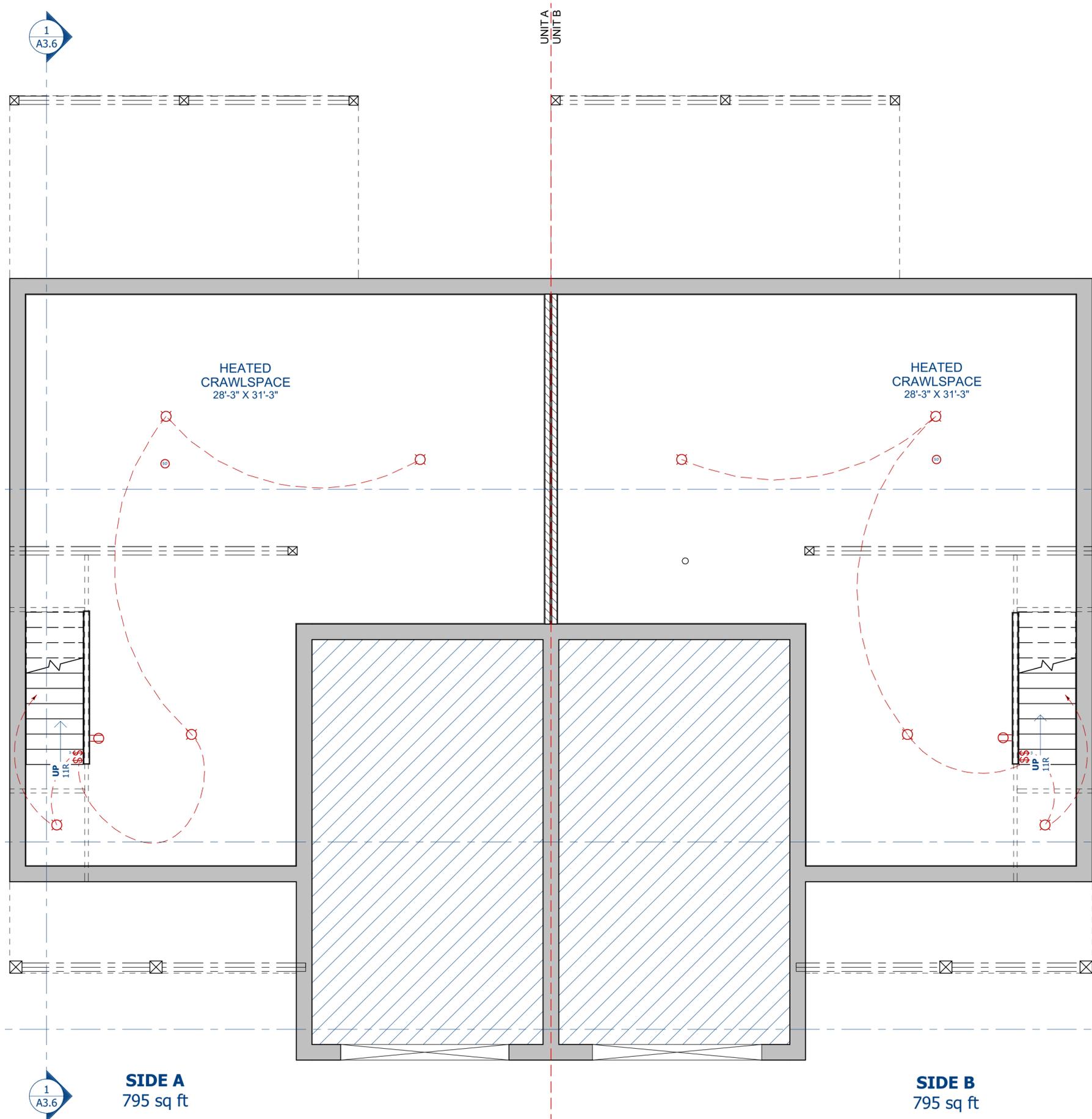
CRAWLSPACE AREA
1590 sq ft

MECHANICAL & ELECTRICAL NOTES

- VARIABLE SPEED FURNACE (1 PER SIDE)
- POWER VENT HOT WATER TANK (1 PER SIDE)
- AIR CONDITIONER (1 PER SIDE)
- HRV (1 PER SIDE)
- 200 AMP ELECTRICAL SERVICE (1 PER SIDE)
- CONDUIT FOR FUTURE EV CHARGERS (GARAGES)
- ELECTRIC FIREPLACE (LIVING ROOMS)
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- TV OUTLET (LIVING, LOFTS, MASTER BEDROOMS)
- CAT 6 (OFFICES)

STRUCTURAL NOTE

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CRAWLSPACE ELECTRICAL PLAN

GENERAL NOTES

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CRAWLSPACE ELECTRICAL PLAN

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ISSUE FOR REVIEW

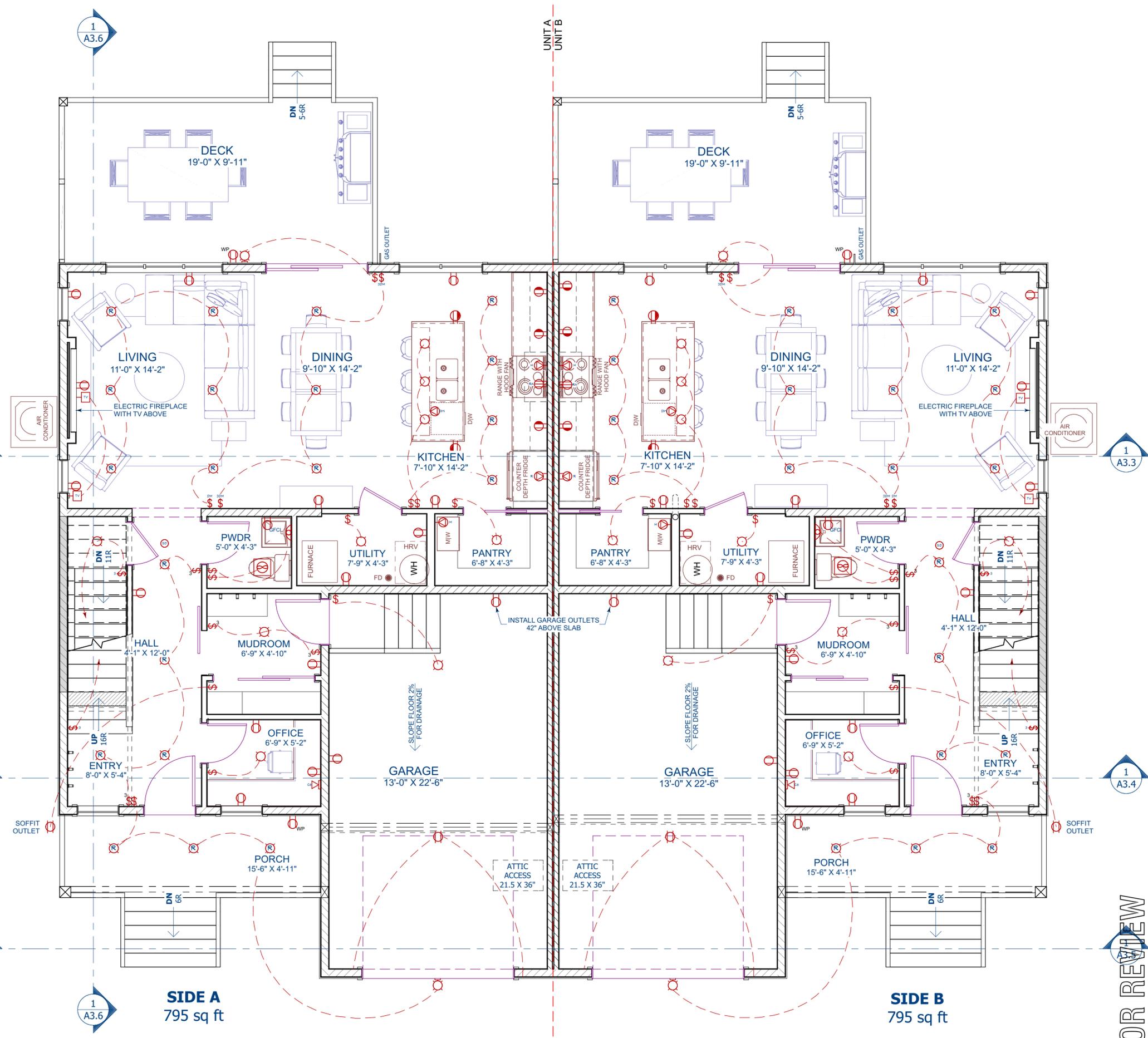
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1590 sq ft

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MAIN FLOOR ELECTRICAL PLAN

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1	ISSUE FOR REVIEW	11 MAR	KD
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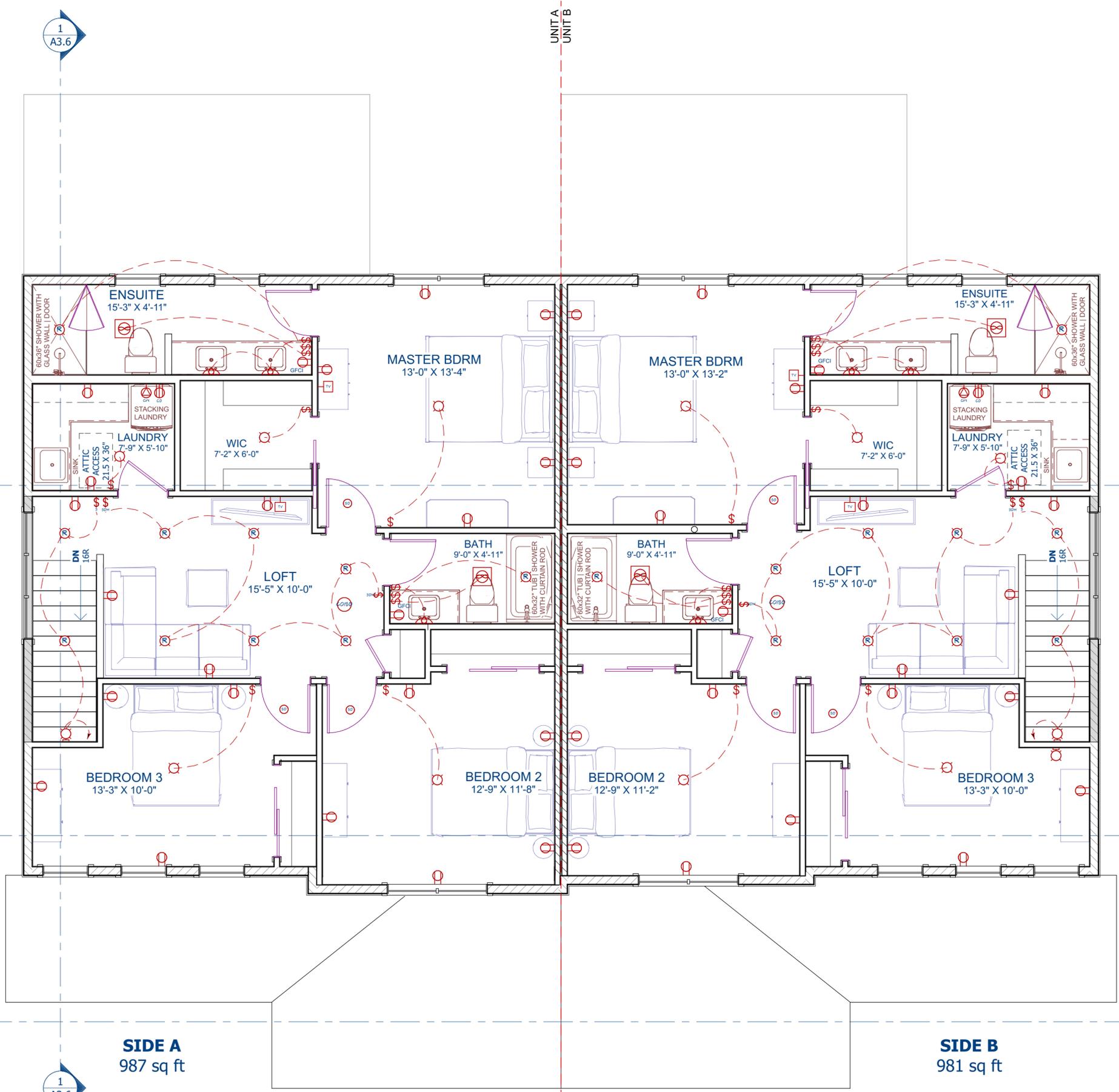
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SECOND FLOOR ELECTRICAL PLAN